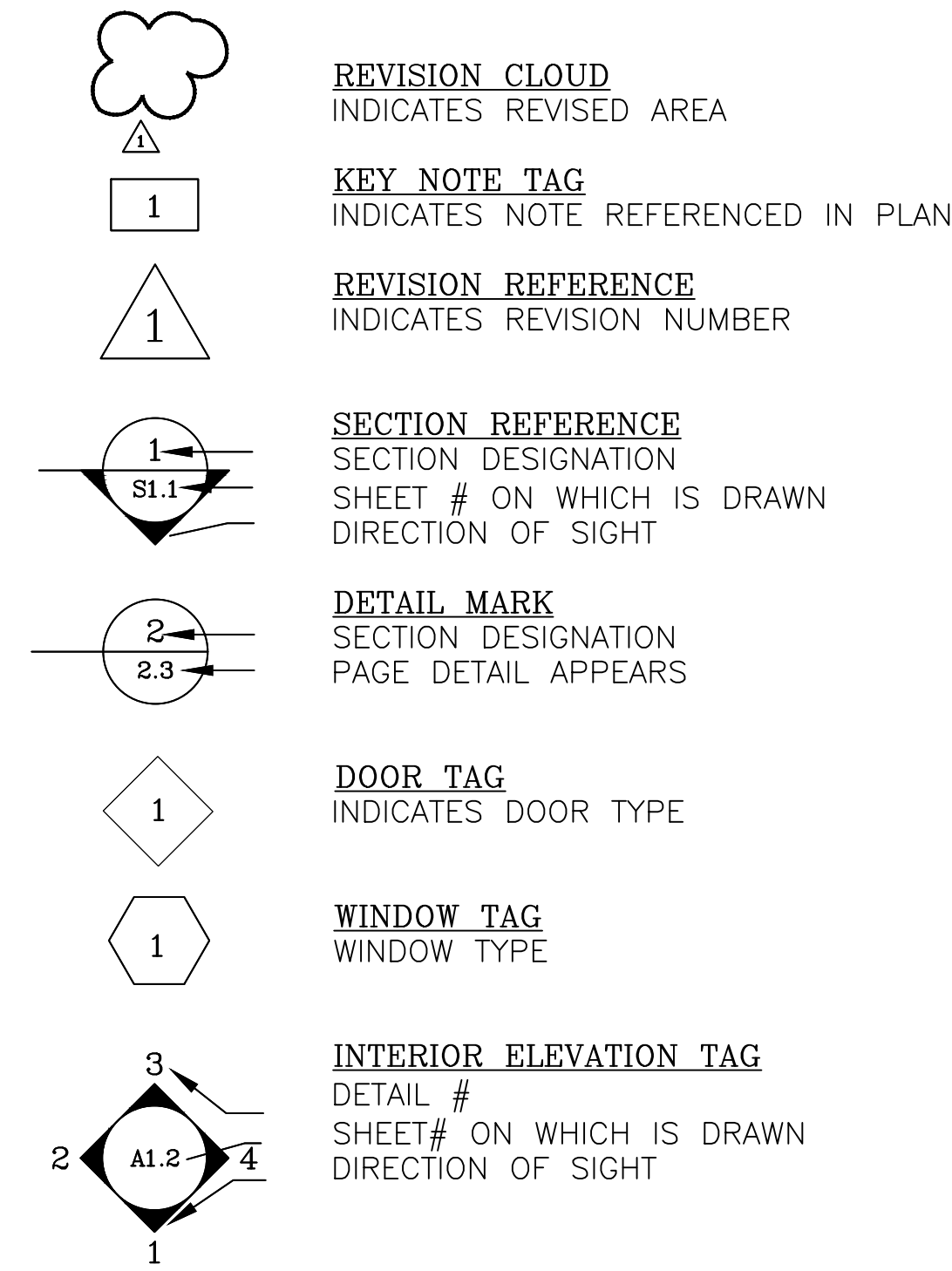


TV-II SPEC OFFICE

1460 VANTAGE WAY, SUITE 102
JACKSONVILLE, FLORIDA 32218

SYMBOL LEGEND



BUILDING DATA

OWNER - IC INDUSTRIAL REIT AND CBRE, INC.
PERMITTING AGENCY: CITY OF JACKSONVILLE, FLORIDA
ZONING: IL
BUILDING TYPE II-B-SPRINKLED
OCCUPANCY CLASSIFICATION - GROUP S-2
WAREHOUSE - 55,750 S.F. AT 500 S.F. PER PERSON, EQUALS 111 PEOPLE
OFFICE - 2,300 S.F. AT 150 S.F. PER PERSON, EQUALS 16 PEOPLE
THRESHOLD - Y/N: N
FLOOD ZONE: X

TYPE OF CONSTRUCTION

TYPE II - B - SPRINKLED

APPLICABLE CODES:

FLORIDA BUILDING CODE 8TH EDITION 2023
FLORIDA MECHANICAL CODE 8TH EDITION 2023
FLORIDA PLUMBING CODE 8TH EDITION 2023
FLORIDA EXISTING BUILDING CODE 8TH EDITION 2023
NATIONAL ELECTRIC CODE NFPA 70 2020
FLORIDA FIRE PREVENTION CODE 8TH EDITION 2023 BASED ON NFPA-2021 EDITION & NFPA 101-2021 EDITION
NFPA 10 2018 EDITION PORTABLE FIRE EXTINGUISHERS
NFPA 13-2019 EDITION STANDARD FOR FIRE SPRINKLERS
NFPA 14-2019 EDITION STANDARD FOR STANDPIPE SYSTEMS
NFPA 72-2019 EDITION FOR ALARM SYSTEMS

INDEX OF DRAWINGS

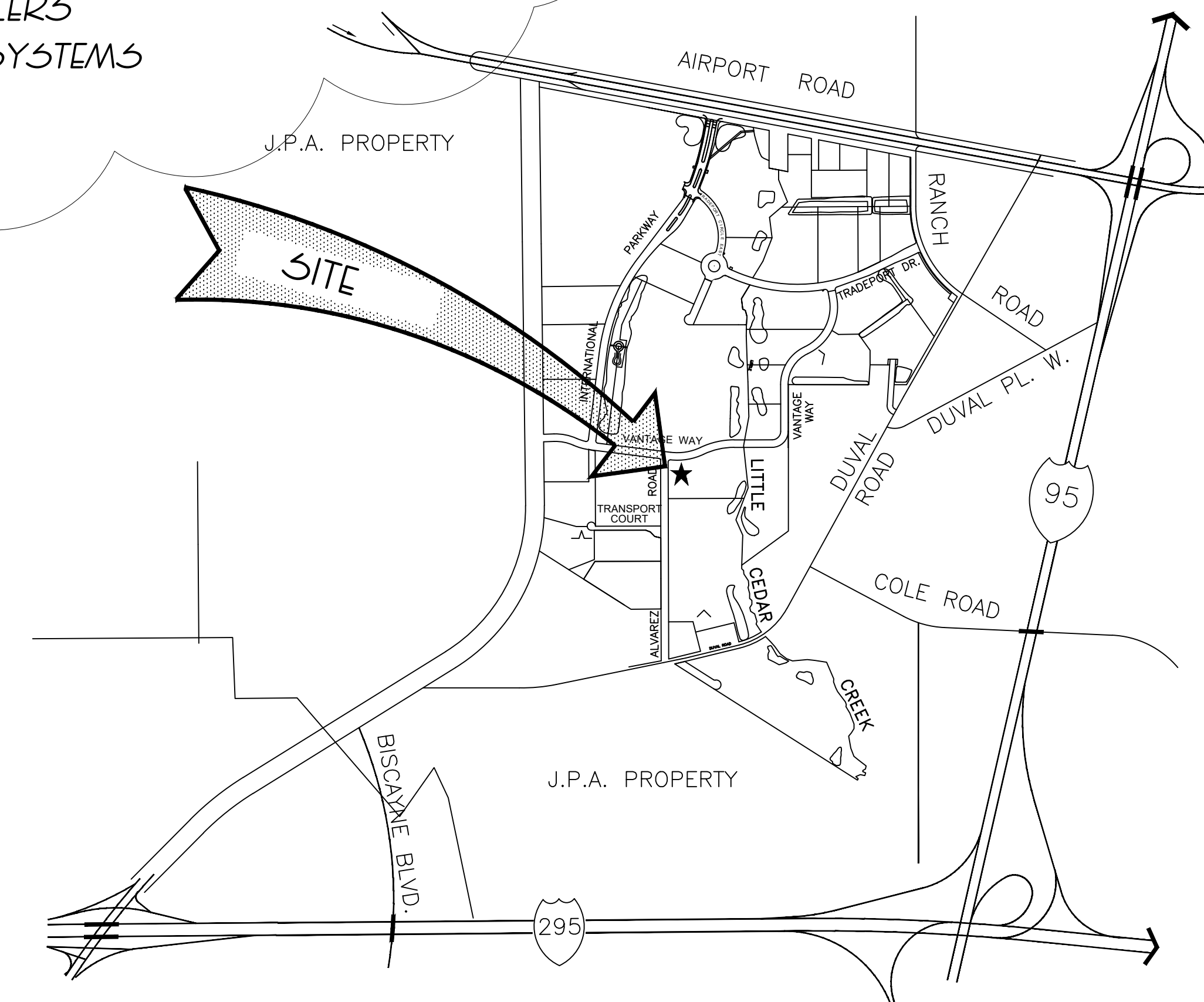
A-0 COVER SHEET
A-1 SITE PLAN
A-2 FLOOR PLAN & LIFE SAFETY
A-3 ENLARGED FLOOR PLAN & REFLECTED CEILING PLAN
A-4 DETAILS & WALL SECTIONS
P-1 PLUMBING PLAN
M-1 HVAC EQUIPMENT SCHEDULES
M-2 HVAC PLAN
E-1 SINGLE LINE, LEGEND, AND GENERAL NOTES
E-2 WAREHOUSE ELECTRICAL PLAN
E-3 OFFICE POWER & LIGHTING PLAN
E-4 PANEL SCHEDULES

ACCESSIBILITY NOTES:

- THIS BUILDING IS ACCESSIBLE TO THE DISABLED COMMUNITY FROM PARKING INTO THE BUILDING I.E. DOOR HARDWARE, AND ACCESSIBLE ROUTE.

GENERAL NOTES:

- THE CONSTRUCTION WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AS THEY APPLY TO THIS PROJECT ALONG WITH ALL THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2023 8TH EDITION.
- DO NOT SCALE THE DRAWINGS. DIMENSIONS SHALL GOVERN IN ALL INSTANCES. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL CONCRETE FLOORS SHALL RECEIVE A SMOOTH TROWEL FINISH EXCEPT AS NOTED.
- ALL LUMBER IN CONTACT WITH MASONRY OF CONCRETE SHALL BE PRESSURE TREATED.
- SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTING ADJACENT STRUCTURES, EQUIPMENT, STREETS, SIDEWALKS, LANDSCAPING AND EXISTING CONSTRUCTION.



SITE LOCATION PLAN

NTS

JARZYNA & ASSOCIATES
ARCHITECTS P.A.
ARCHITECTS / PLANNERS
FOUR JUNIPER COURT
AMELIA ISLAND FLORIDA 32054
TELEPHONE 904-321-4542 FAX 904-321-2029

HASKREW COMPANY, INC.
COMMERCIAL INDUSTRIAL CONTRACTORS
JACKSONVILLE, FL 32218
904.747.0004 | www.HASKREW.net

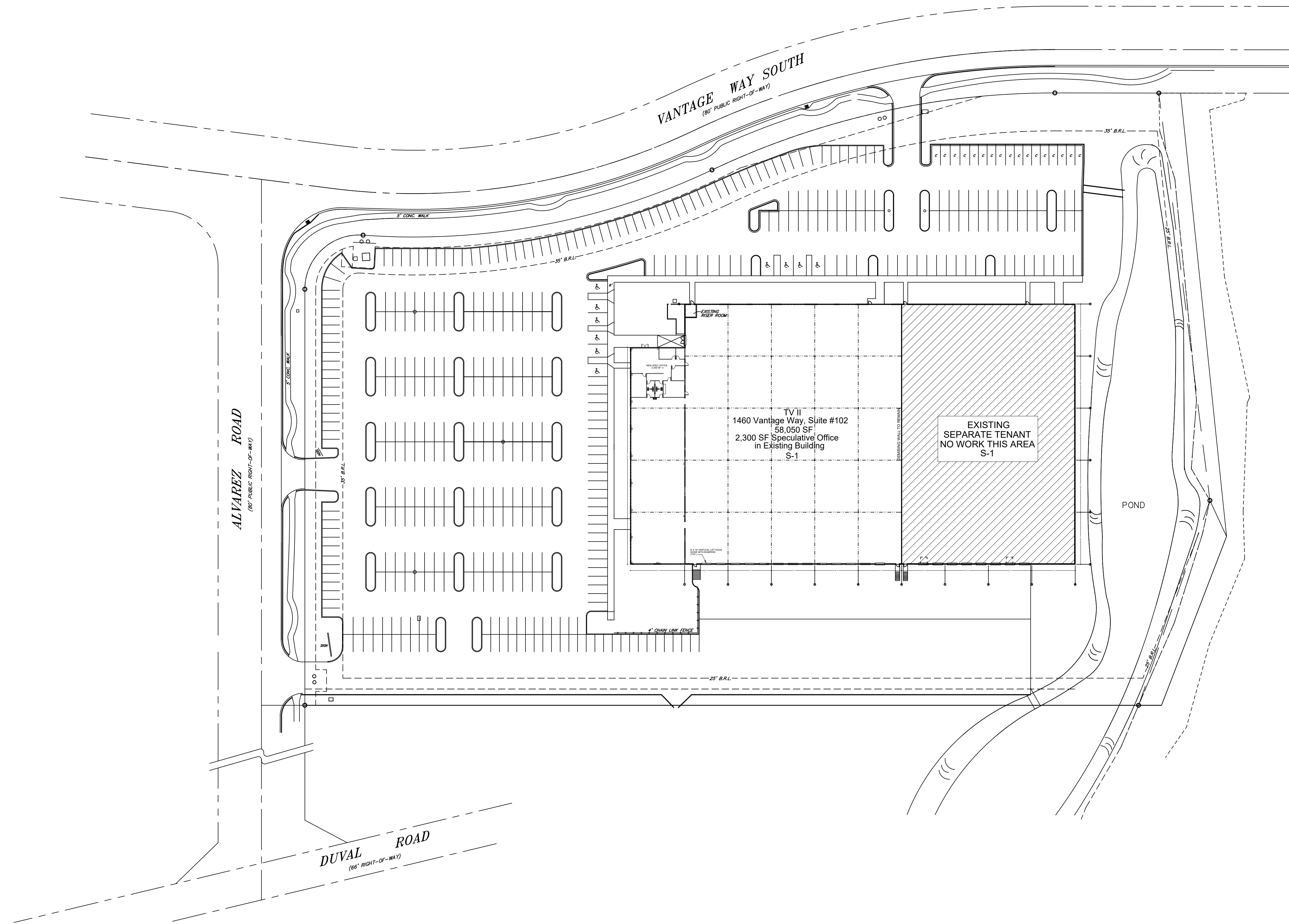
PROJECT NAME
TV-II SPEC OFFICE
1460 VANTAGE WAY, STE 102
JACKSONVILLE, FL 32218

SHEET NAME
COVER SHEET

ARCH. REG. NO. AR-13286

| PROJECT NO. | DATE | REVISION | PRINT DATE | ISSUE FOR CONSTRUCTION |
|-------------|--------|----------|------------|------------------------|
| 24015 | 2-5-24 | 2-5-24 | 2-5-24 | 2-5-24 |

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED WITHOUT WRITTEN PERMISSION FROM JARZYNA & ASSOCIATES, ARCHITECTS P.A.
SHEET NO. A-0

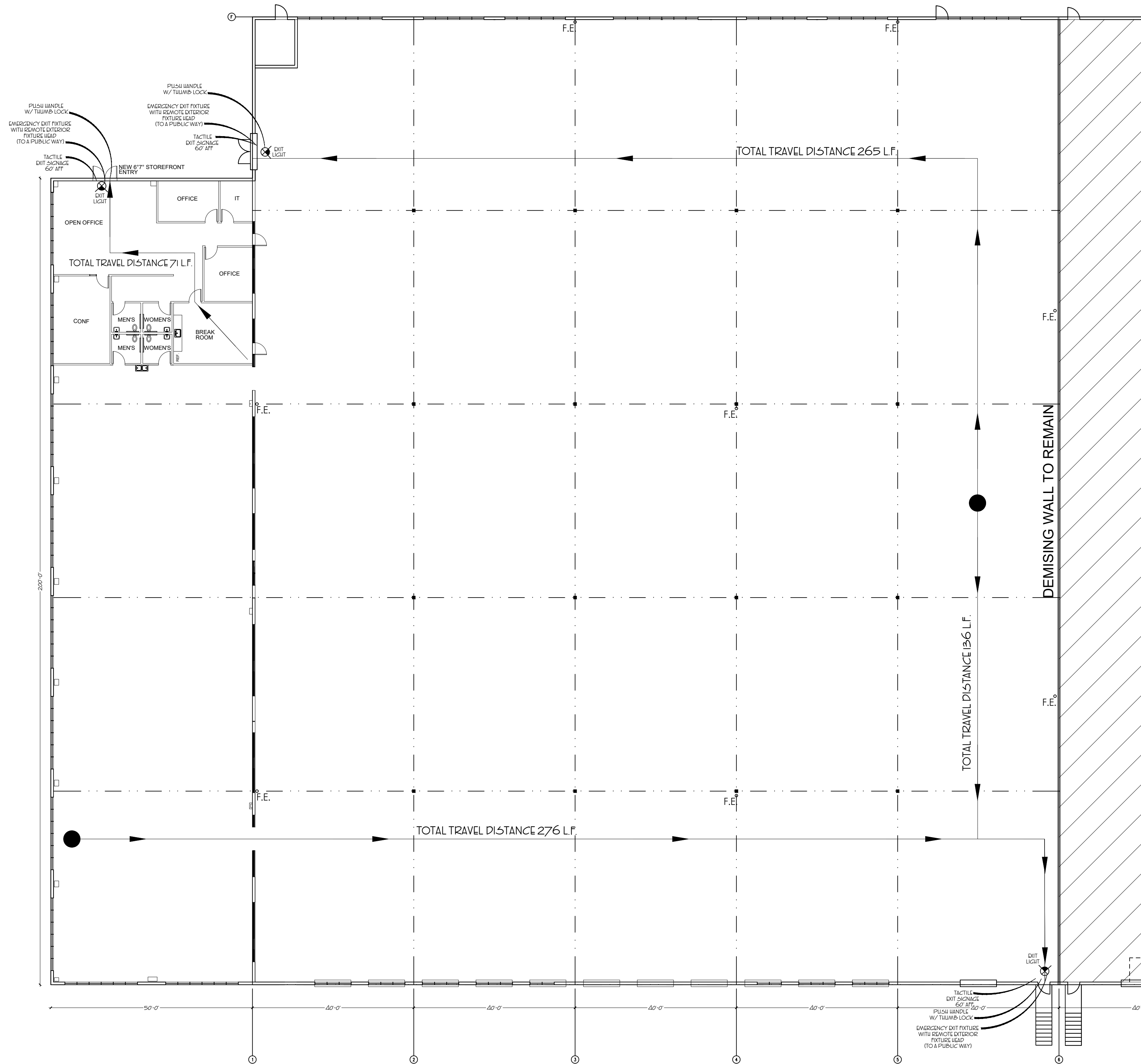


SITE PLAN
SCALE 1" = 50'

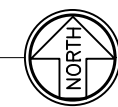
| | | | | |
|--|--|--------------------------------|---|---|
| <small>THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED WITHOUT WRITTEN PERMISSION @ JARZYNA & ASSOCIATES, P.A.</small> SHEET NO. A-1 | PROJECT NO. 24015 DATE 2-5-24 | SHEET NAME SITE PLAN | PROJECT NAME TV-II SPEC OFFICE 1460 VANTAGE WAY, STE 102 JACKSONVILLE, FL 32218 | JARZYNA & ASSOCIATES ARCHITECTS & PLANNERS 4000 JUNIPER COURT AMELIA ISLAND, FLORIDA 32054 TELEPHONE 904-521-4242 FAX 904-521-2029 |
| | REVISION 2-5-24 PRINT DATE 2-5-24 ISSUE FOR CONSTRUCTION | SCALE 24015 2-5-24 | ARCHITECT HASSEW COMPANY, INC. COMMERCIAL INDUSTRIAL CONTRACTORS JACKSONVILLE, FL 32218 904.741.0004 www.HASREW.com | |

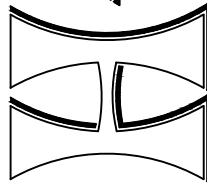
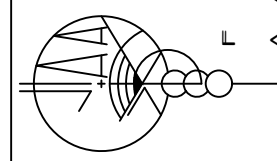
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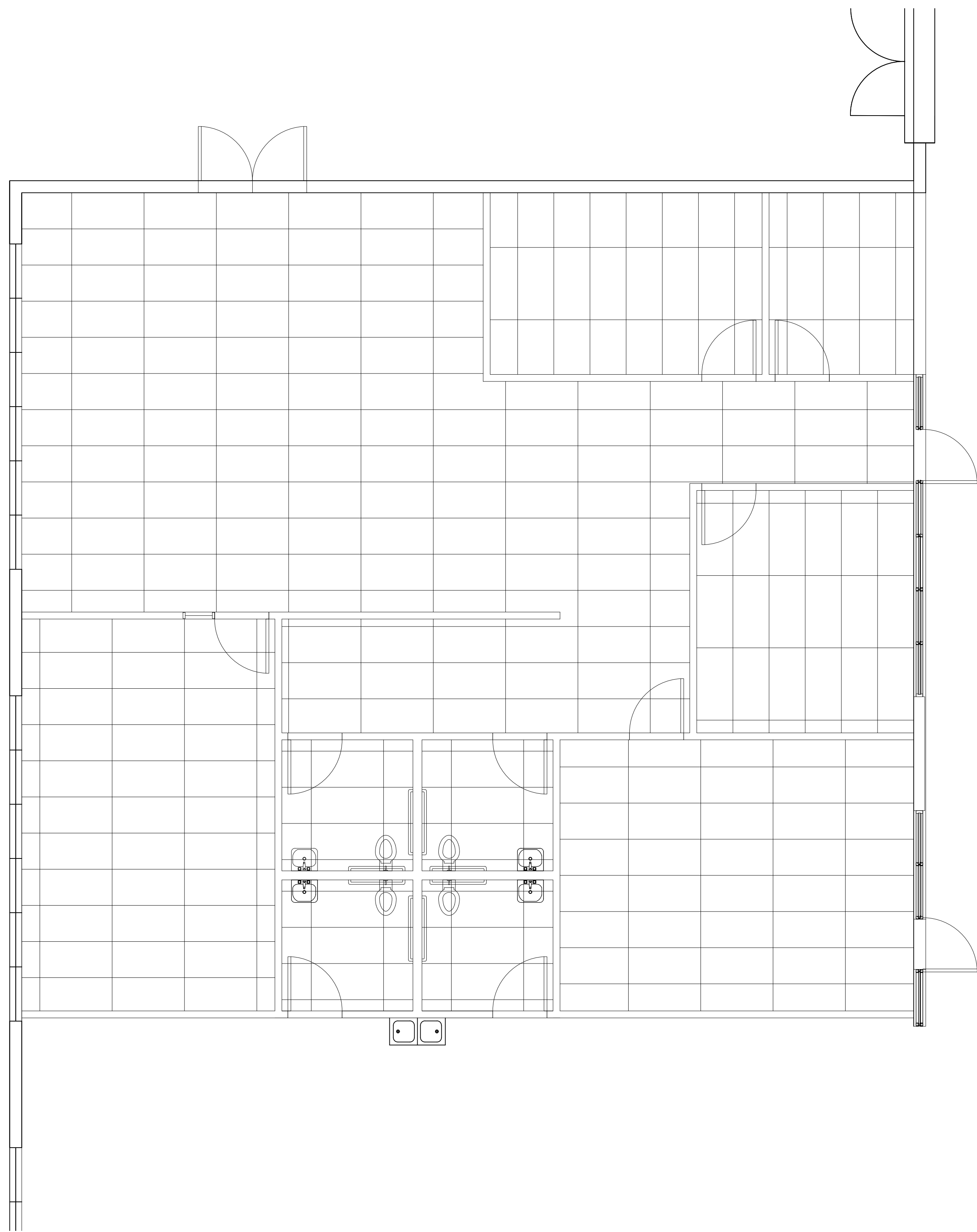
- 1) SPECULATIVE OFFICE ONLY, UNOCCUPIED. TENANT OCCUPANCY WITH FUTURE PERMITTING.
- 2) BUILDING SERVED BY AUTOMATIC SPRINKLER SYSTEM.
- 3) FIRE ALARM AND FIRE SPRINKLER WORK TO BE PULLED UNDER SEPARATE PERMIT.
- 4) MODERATE HAZARD, S-1 CLASSIFICATION



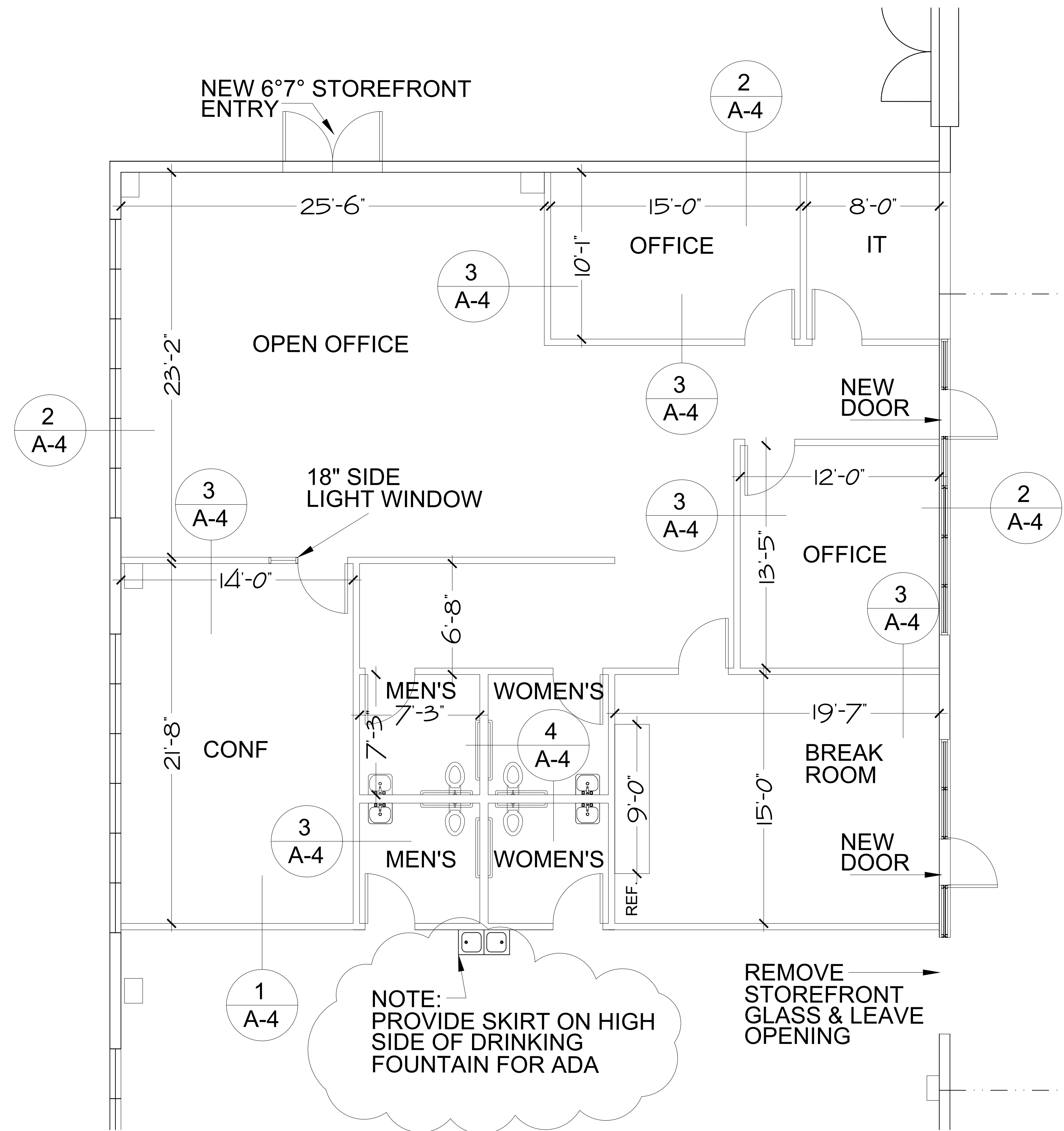
FLOOR PLAN
SCALE 1"=50'



| | | | | | | |
|--|--|--|---|--|---|---|
| THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED WITHOUT WRITTEN PERMISSION @ JARZYNA & ASSOCIATES, P.A. SHEET NO. | PROJECT NO. 24015 DATE 2-5-24 REVISION PRINT DATE 2-5-24 ISSUED FOR CONSTRUCTION | SHEET NO. A-2 ARCH. REG. NO. AR-13286 | FLOOR PLAN & LIFE SAFETY | PROJECT NAME TV-11 SPEC OFFICE 1460 VANTAGE WAY, STE 102 JACKSONVILLE, FL 32218 |  HASKEW COMPANY, INC. COMMERCIAL INDUSTRIAL CONTRACTORS JACKSONVILLE, FL 32218 904.741.0004 www.HASKEW.net |  JARZYNA & ASSOCIATES ARCHITECTS P.A. FOUR JUNIPER COURT AMELIA ISLAND, FLORIDA 32054 TELEPHONE 904-321-4242 FAX 904-321-2029 |
|--|--|--|---|--|---|---|

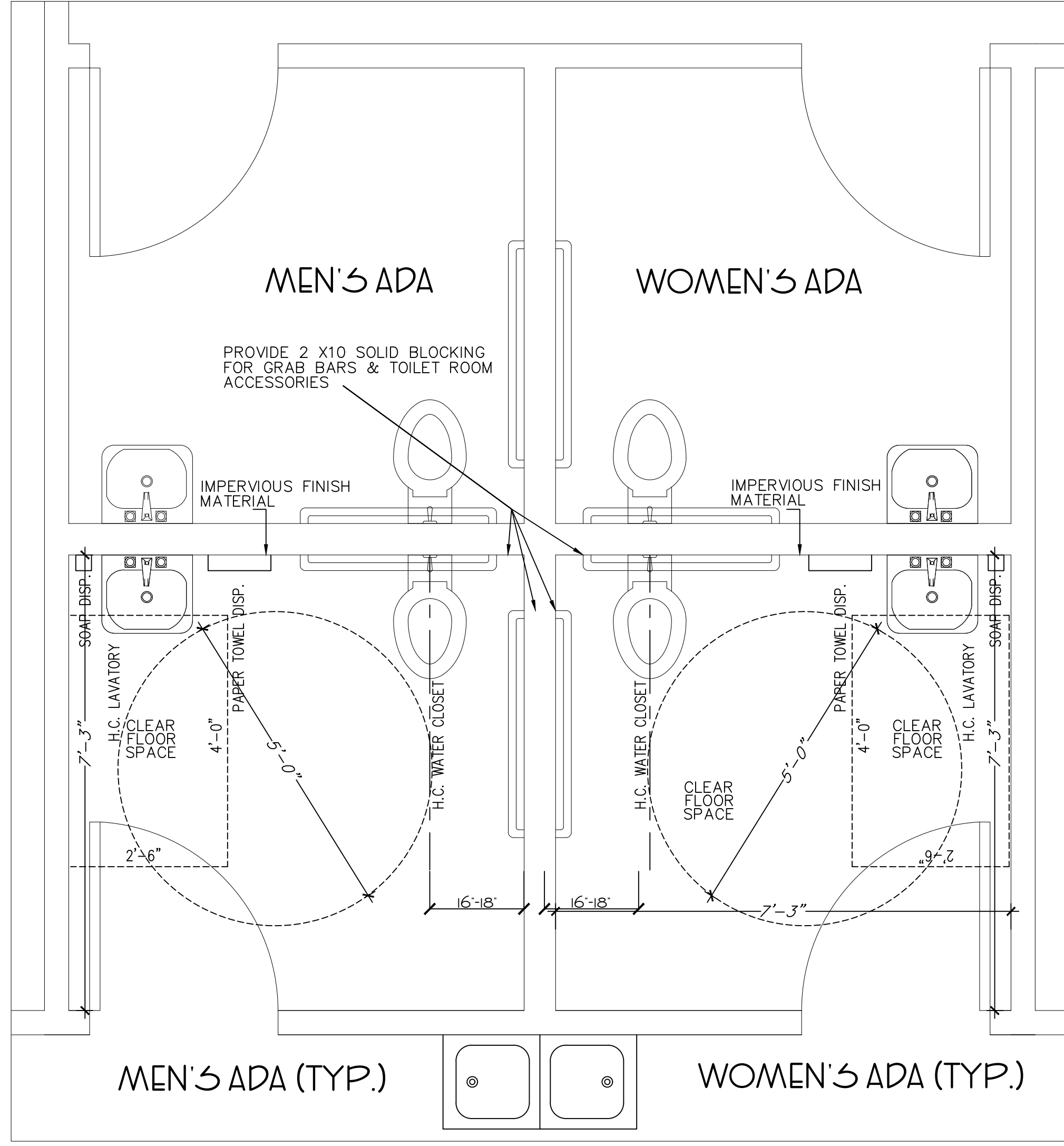
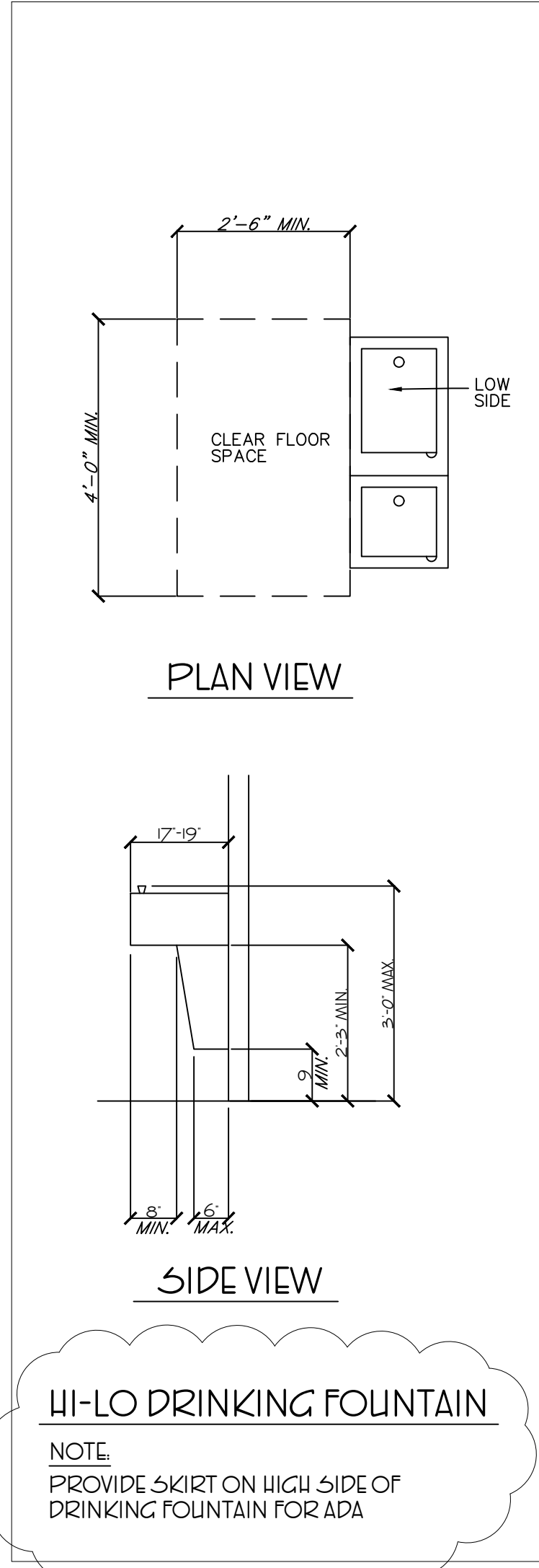
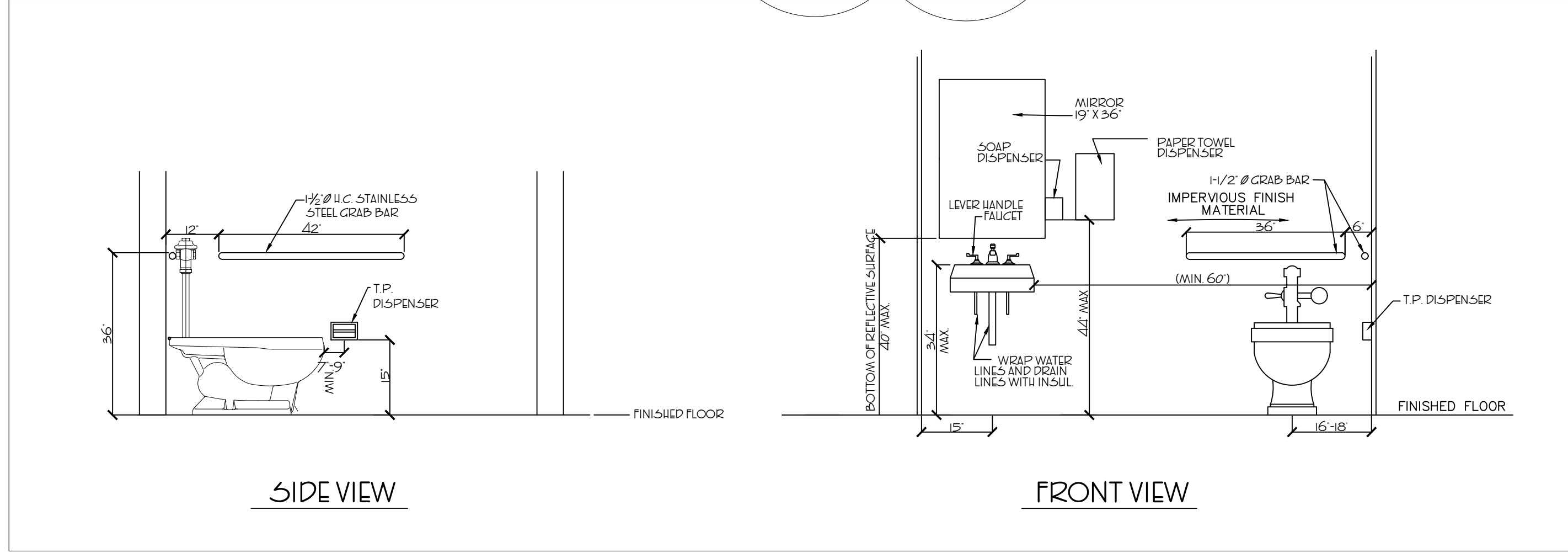


REFLECTED CEILING PLAN
SCALE: 1/4"=1'

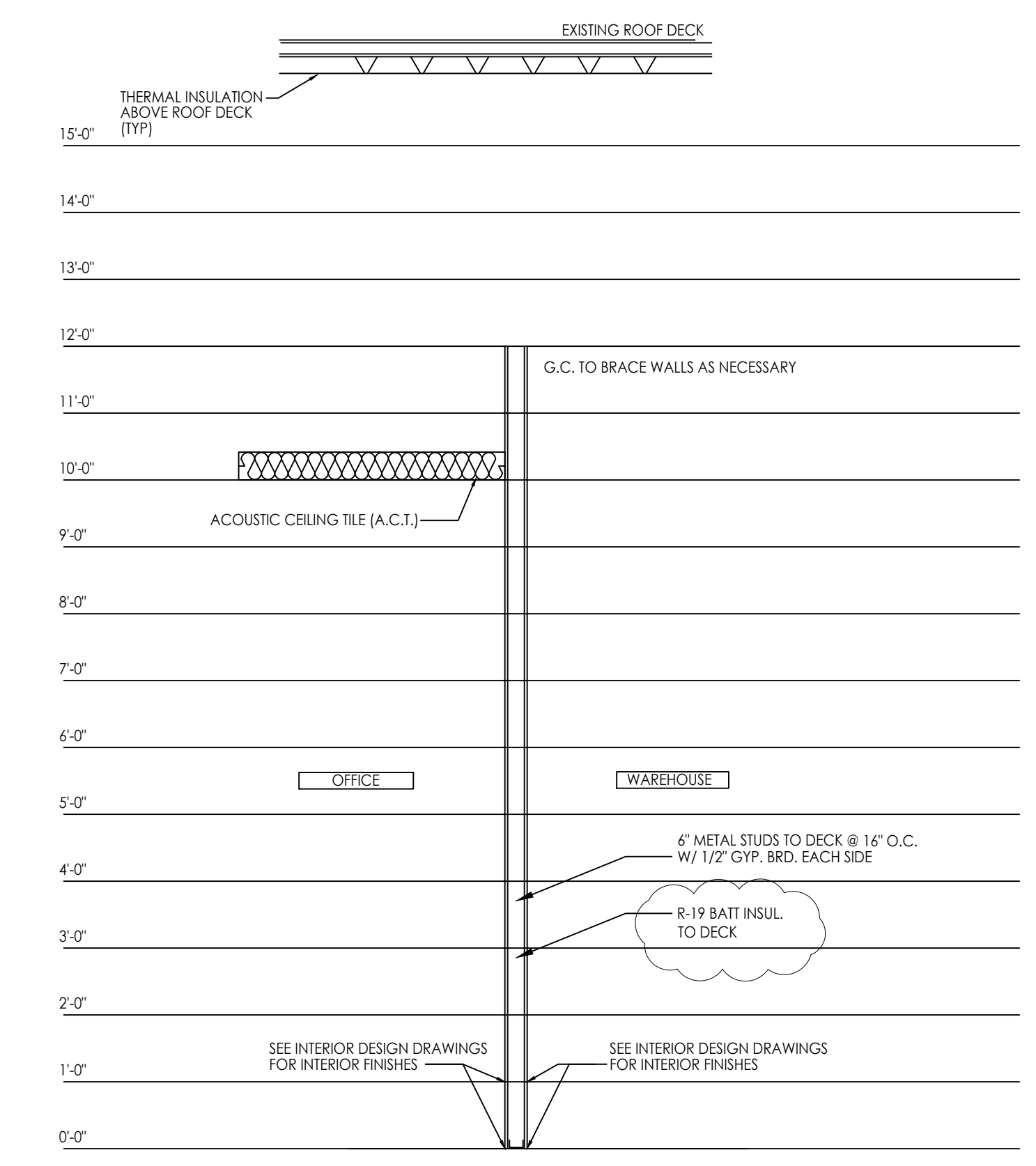


ENLARGED FLOOR PLAN
SCALE: 1/4"=1'

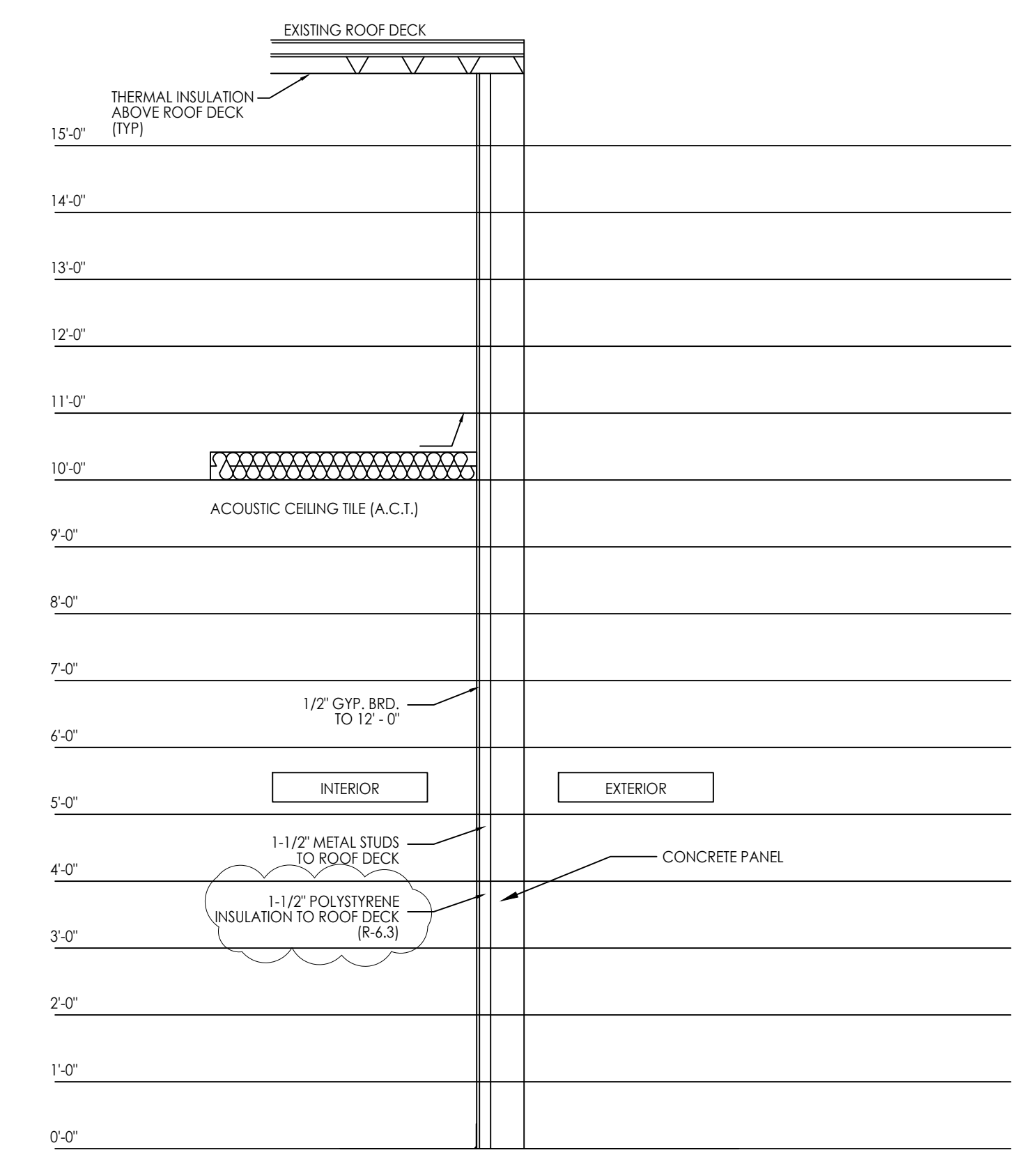
NOTE:
FINISHES IN RESTROOM SHALL COMPLY WITH
FBC 1210.2.1 AND FBC 1210.2.2 - EPOXY PAINT
ON WALL AND SEALED FLOORS.



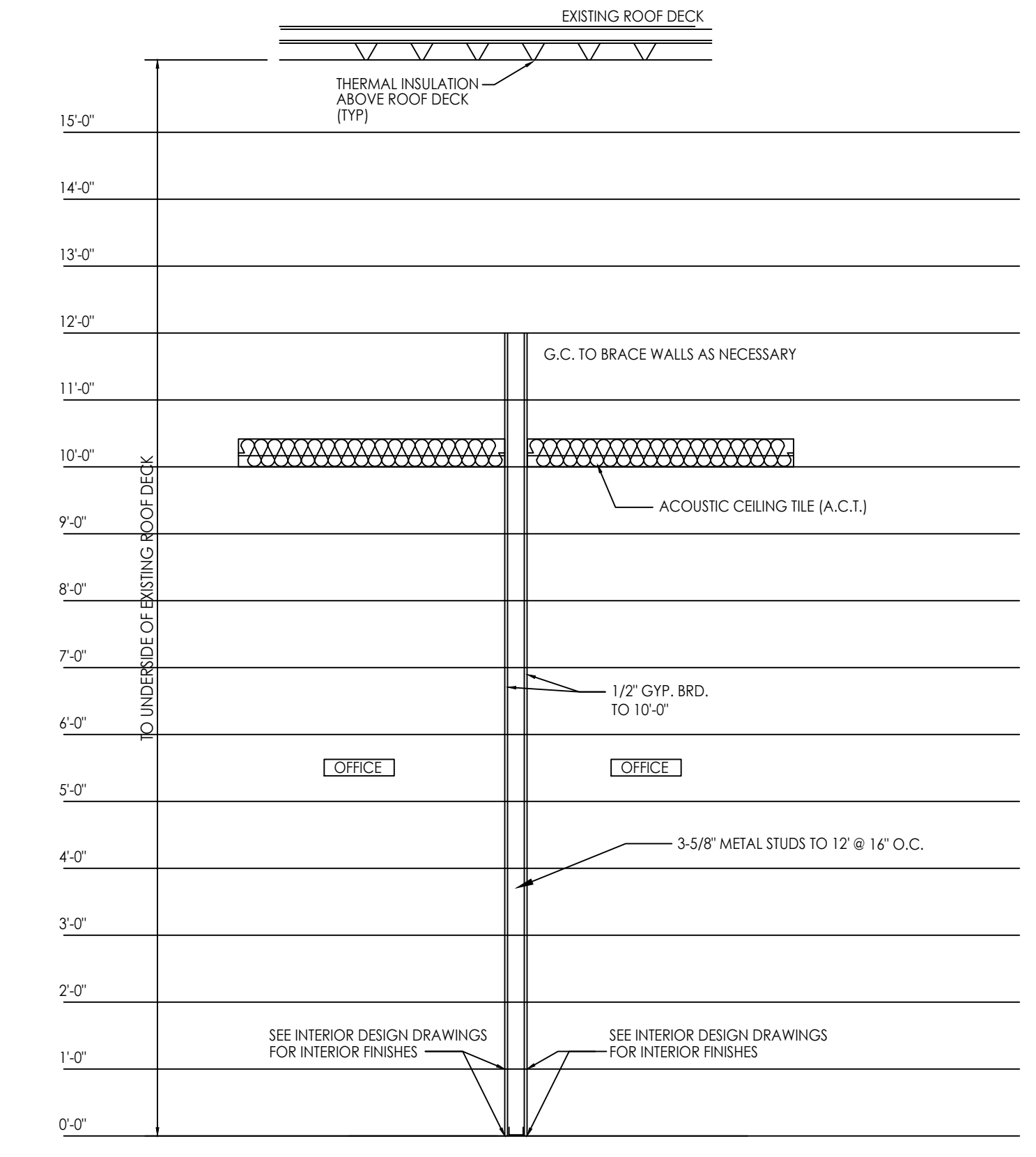
PLAN VIEW
DETAILS
SCALE NTS



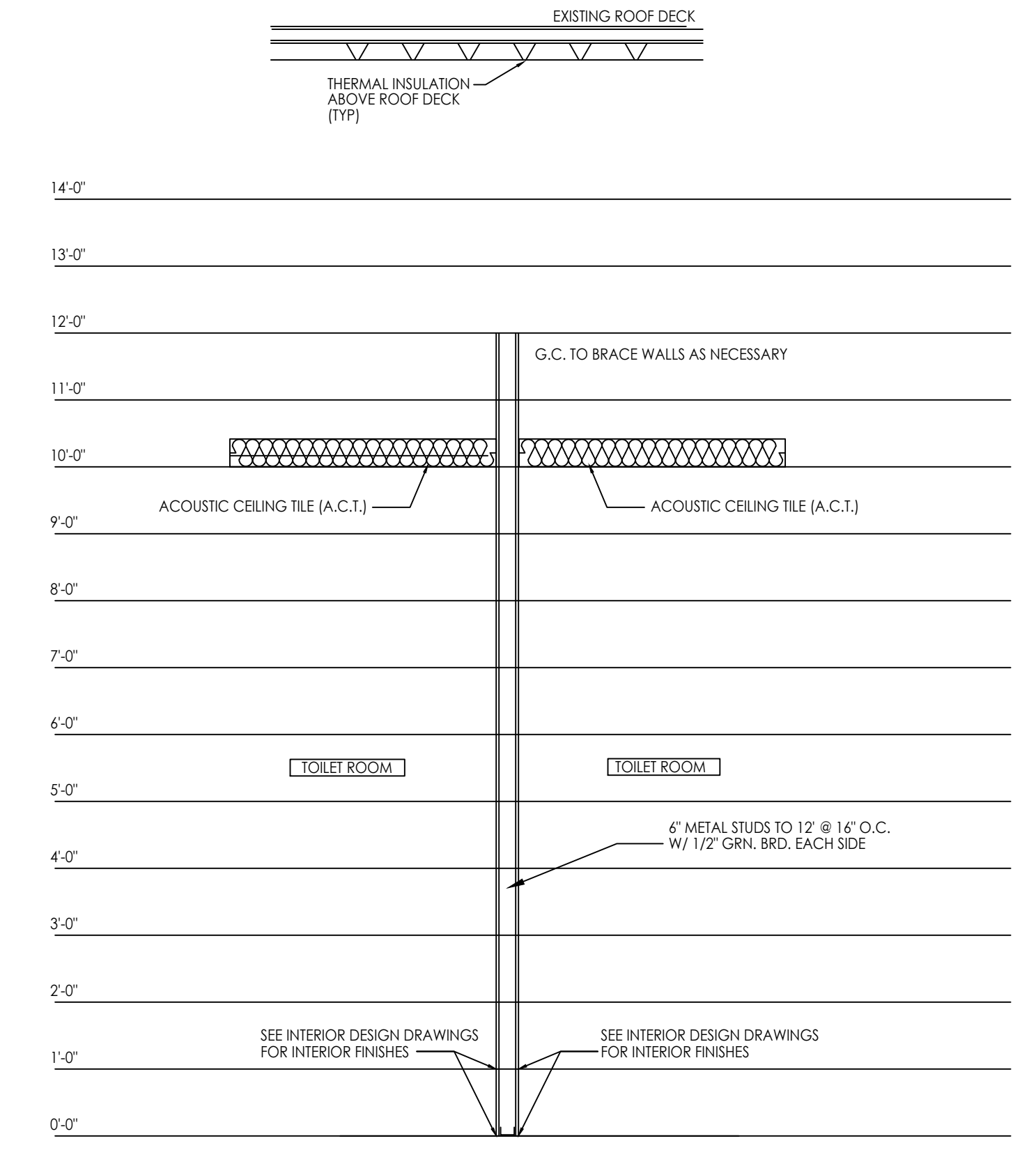
WALL SECTION - TYPE 1
PERIMETER OFFICE WALL



WALL SECTION - TYPE 2
EXTERIOR WALL - FUR OUT



TYPICAL WALL SECTION - TYPE 3
INTERIOR OFFICE



WALL SECTION - TYPE 4
TOILET ROOM WALLS

WALL SECTIONS
SCALE 1/2" = 1'